

Proposed Alteration For:
Buono Residence

Drawing List:

- SP-101 Site Plan
- A-101 Backyard/ Patio Plan
- A-200 Patio Elevations
- A-300 Sections
- A-301 Sections
- A-302 Sections
- A-900 Perspectives

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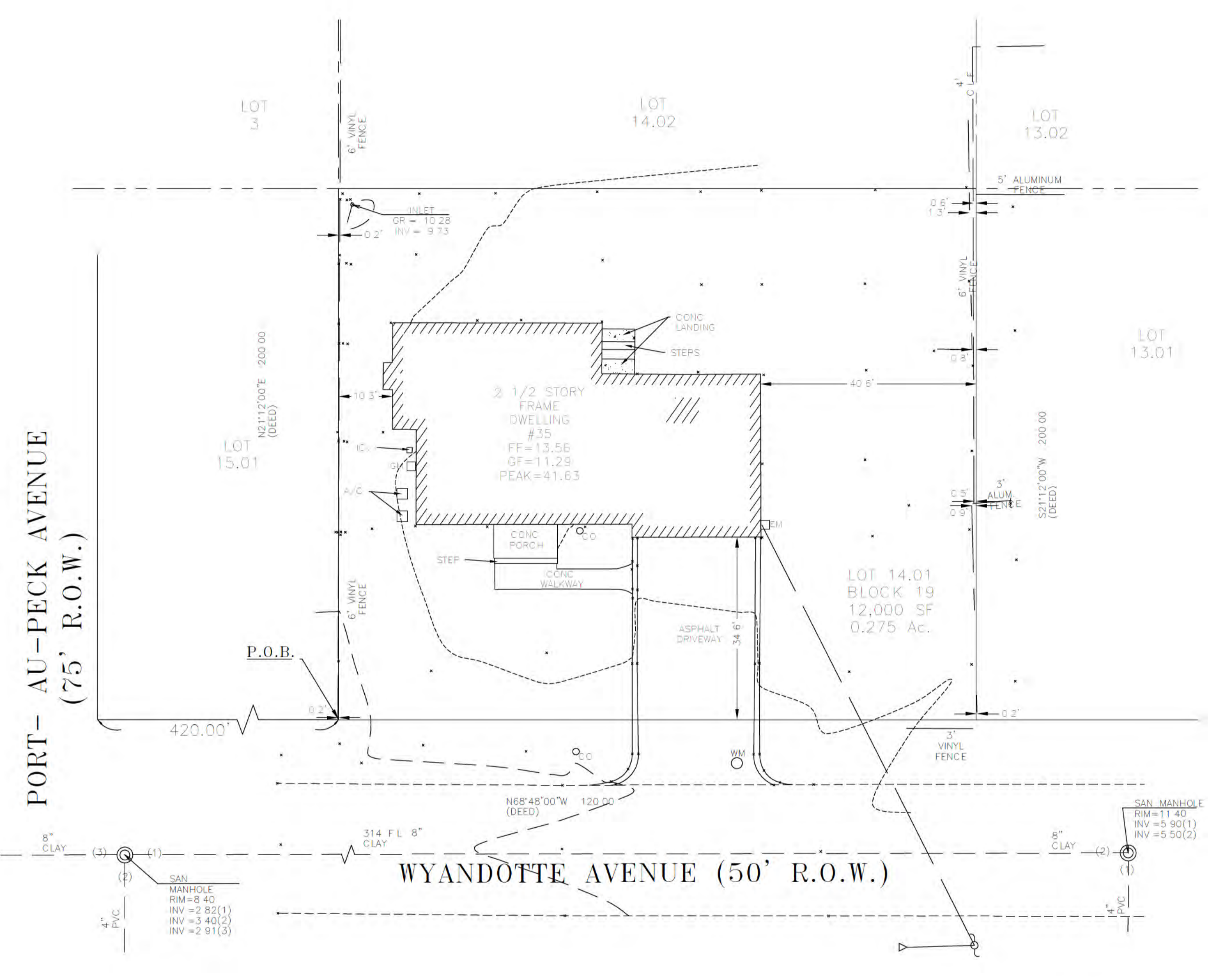
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 Oceanport, NJ 07757

Block: 19

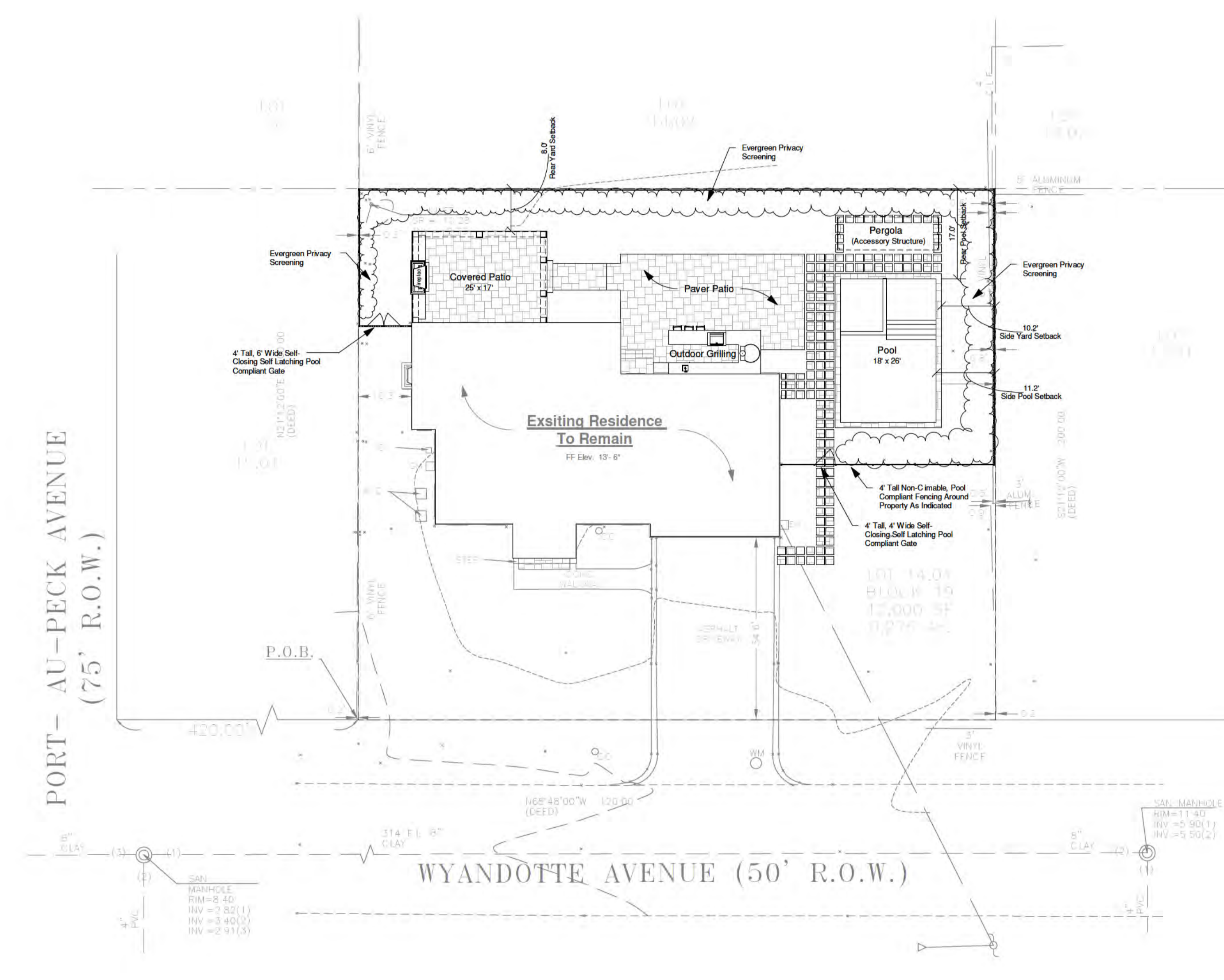
Lot: 14.01

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No.	Description	Date
1	Revisions To Lot Coverages And Layout As Per Owner	01/30/24



Existing Site Plan
 1/16" = 1'-0"



Proposed Patio Site Plan
 1/16" = 1'-0"

SITE PLAN DATA:

ZONE R-3 RESIDENTIAL ZONE REQUIREMENTS	REQUIRED:	EXISTING:	PROPOSED:
a. MINIMUM LOT AREA	12,000 SQ. FT.	12,000 SQ. FT.	12,000 SQ. FT.
b. MINIMUM LOT WIDTH (FRONTAGE)	120'	120'	120'
c. MINIMUM LOT DEPTH	100'	100'	100'
d. MINIMUM FRONT YARD SETBACK (principal building)	34.58'	34.58'	34.58'
e. MINIMUM SIDE YARD SETBACK (principal building)	10'	10.33'	10.33'
f. MINIMUM BOTH SIDE YARDS SETBACK (principal building)	25'	51.07'	51.07'
g. MINIMUM REAR YARD SETBACK (principal building)	25'	25.42'	8'
h. MAXIMUM BUILDING HEIGHT	35' / 2.5 STORIES	32.50' / 2 STORY	32.50' / 2 STORY
i. MAXIMUM LOT COVERAGE			
PRINCIPAL BUILDING	25%	19.7% (2,364 SQ. FT.)	23.4% (2,804 SQ. FT.)
j. MAXIMUM IMPERVIOUS COVERAGE (% of buildable lot area)	37%	28.6% (3,432 SQ. FT.)	45.8% (5,501 SQ. FT.)
k. MINIMUM BUILDING HEIGHT (accessory building)	15'	NA	9'
l. MINIMUM SIDE YARD SETBACK (accessory building)	10'	NA	52'
m. MINIMUM REAR YARD SETBACK (accessory building)	5'	NA	5.25'

E - EXISTING NON-CONFORMING
 CENC - CONTINUED EXISTING NON-CONFORMING
 E - VARIANCE REQUIRED

Site Plan

Project number	2023-40
Submission Date	11/25/23
Sheet Issue Date	01/30/24
Drawn by	BPF
Checked by	BPF

SP-101

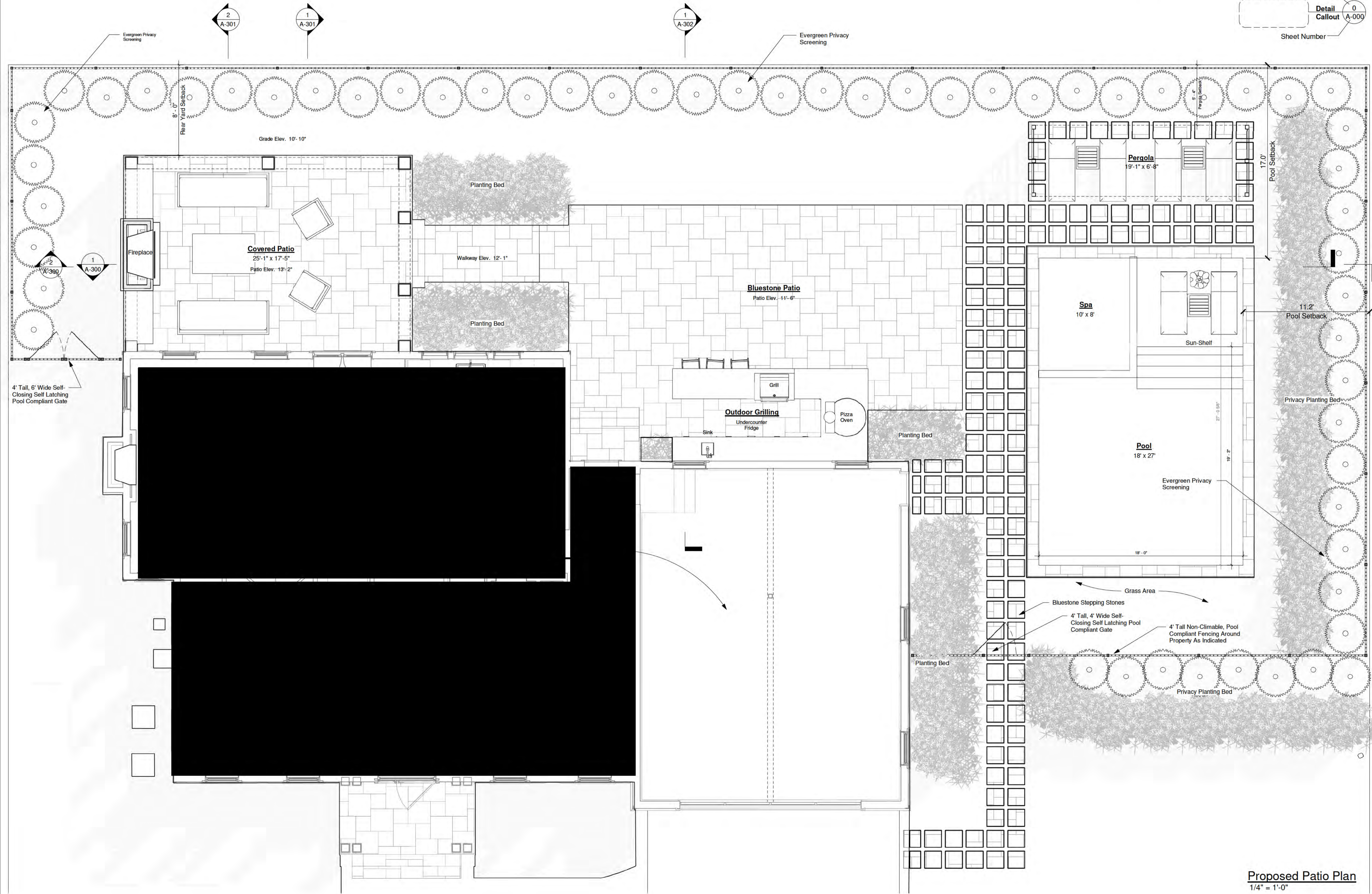
Scale: As indicated

LEGEND

- INDICATES EXISTING WALLS TO REMAIN UNTOUCHED
- INDICATES EXISTING WALLS AND OR ITEMS TO BE REMOVED
- INDICATES PROPOSED WALLS TO BE CONSTRUCTED

Section Number
 Building Section
 Sheet Number

Callout Number
 Detail Callout
 Sheet Number



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1	Revisions To Lot Coverages And Layout As Per Owner	01/30/24

Backyard/ Patio Plan

Project number 2023-40
 Submission Date 11/25/23
 Sheet Issue Date 01/30/24
 Drawn by BPF
 Checked by BPF

A-101

Scale 1/4" = 1'-0"

Proposed Patio Plan
 1/4" = 1'-0"



Proposed Rear Patio Elevation
3/16" = 1'-0"



Proposed Rear Privacy Elevation
3/16" = 1'-0"



Proposed Left Side Patio Elevation
3/16" = 1'-0"



Proposed Right Side Patio Elevation
3/16" = 1'-0"

LEGEND

Section Number
0
Building Section
A-000
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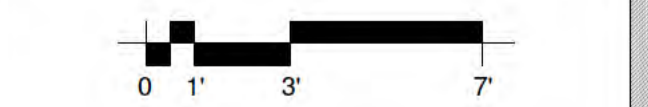
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Patio Elevations

Project number	2023-40
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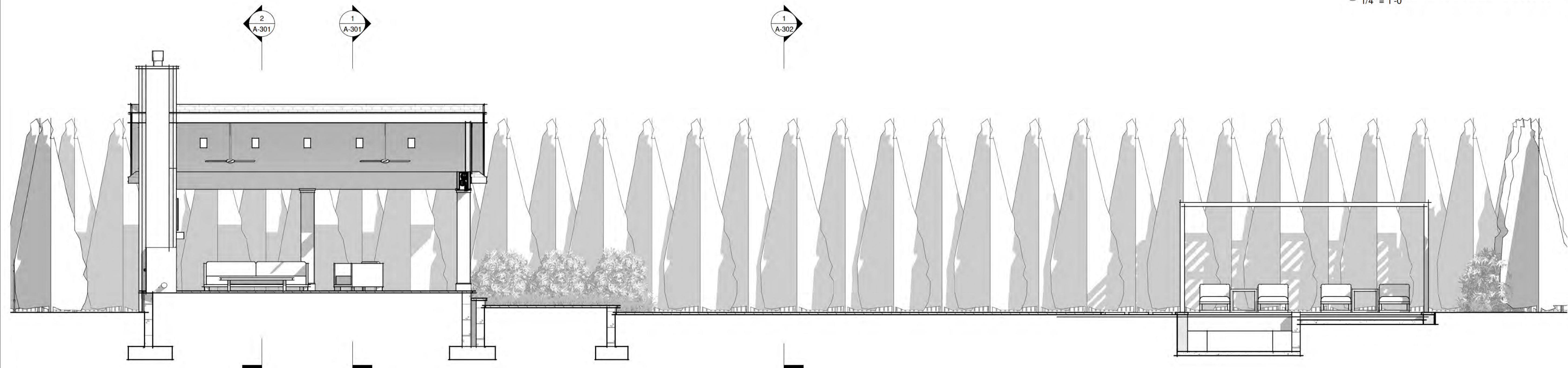
A-200

Scale: As indicated





① Horizontal Section Facing House
1/4" = 1'-0"



② Horizontal Section Facing Backyard
1/4" = 1'-0"

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0 A-000
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Sections

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A-300

Scale 1/4" = 1'-0"

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A-000
Building Section
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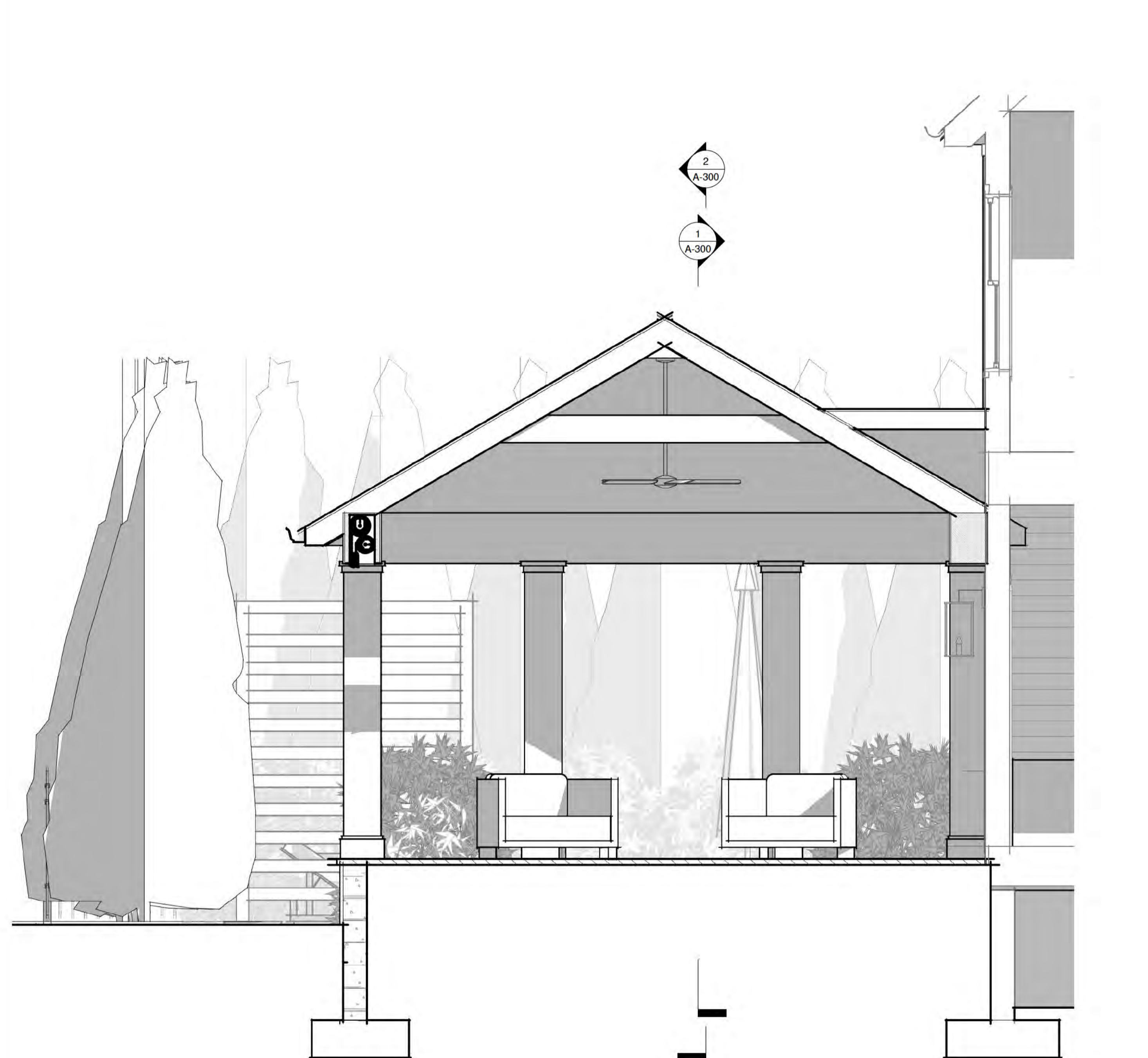
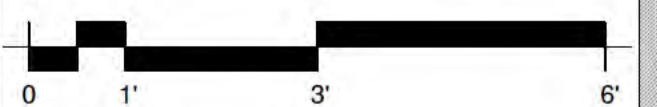
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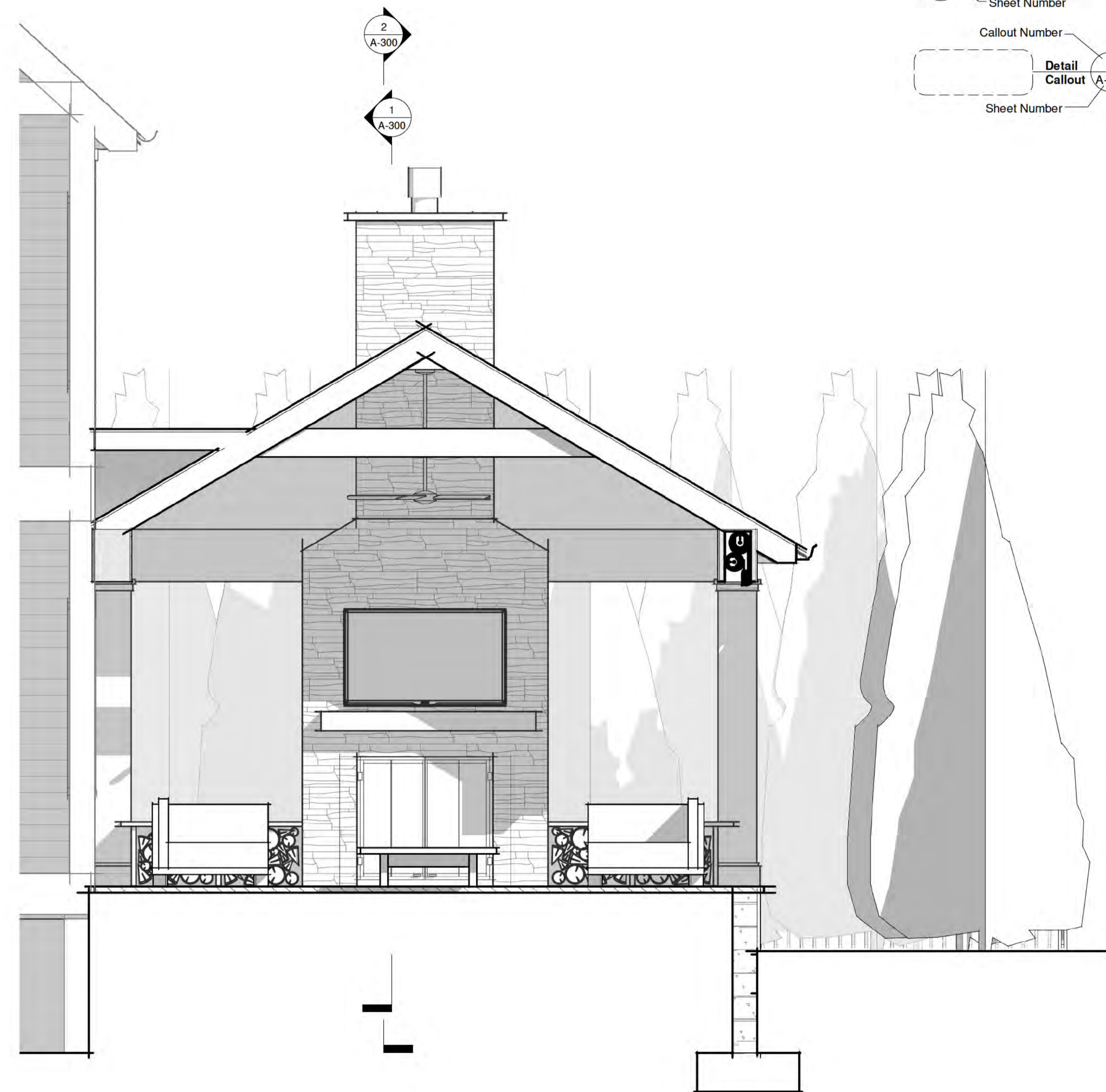


A-301

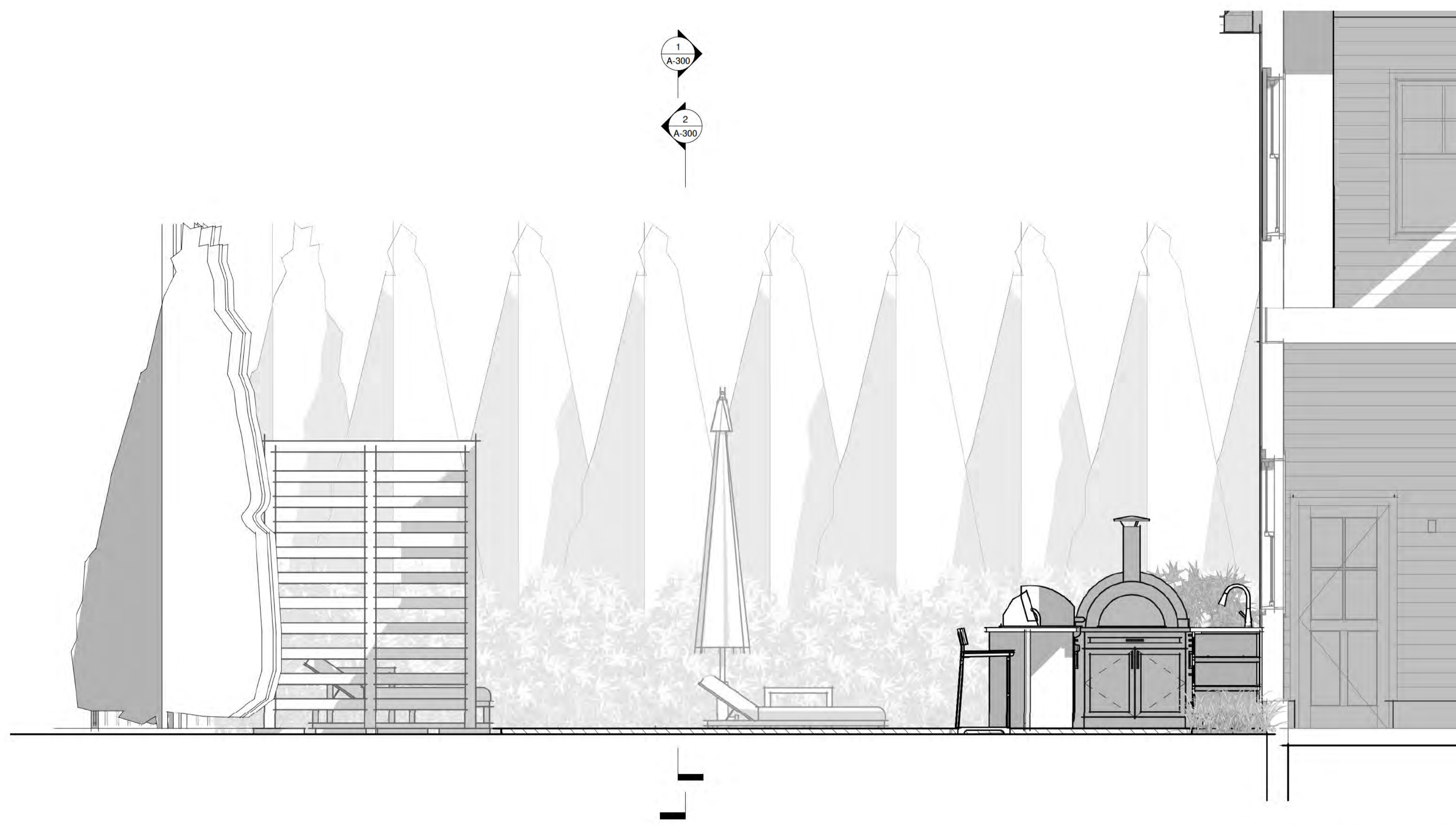
Scale As indicated



1 Cross Section Facing Pool
1/2" = 1'-0"



2 Cross Section Facing Fireplace
1/2" = 1'-0"



① Cross Section Through Outdoor Kitchen
1/2" = 1'-0"

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[Signature]

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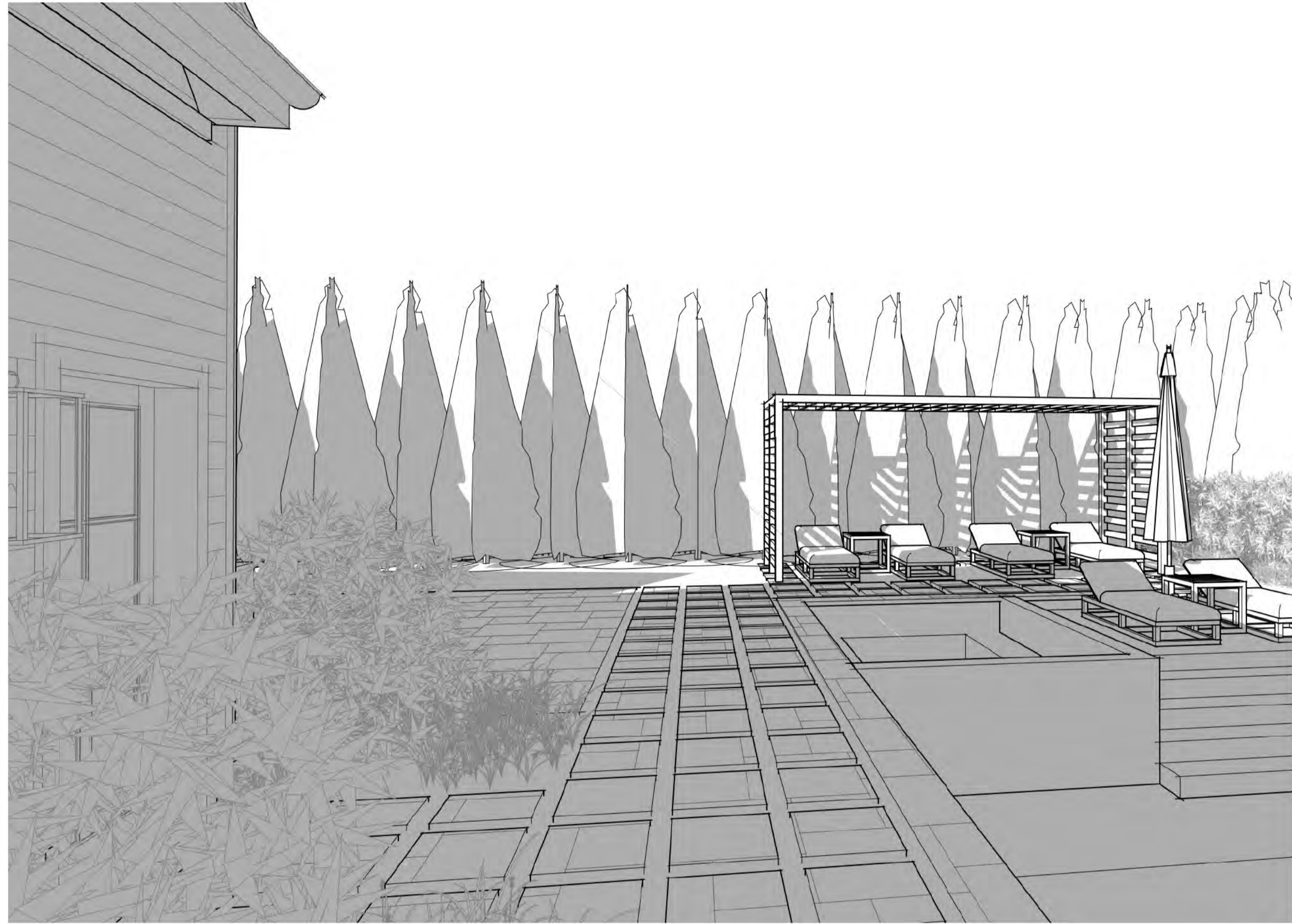
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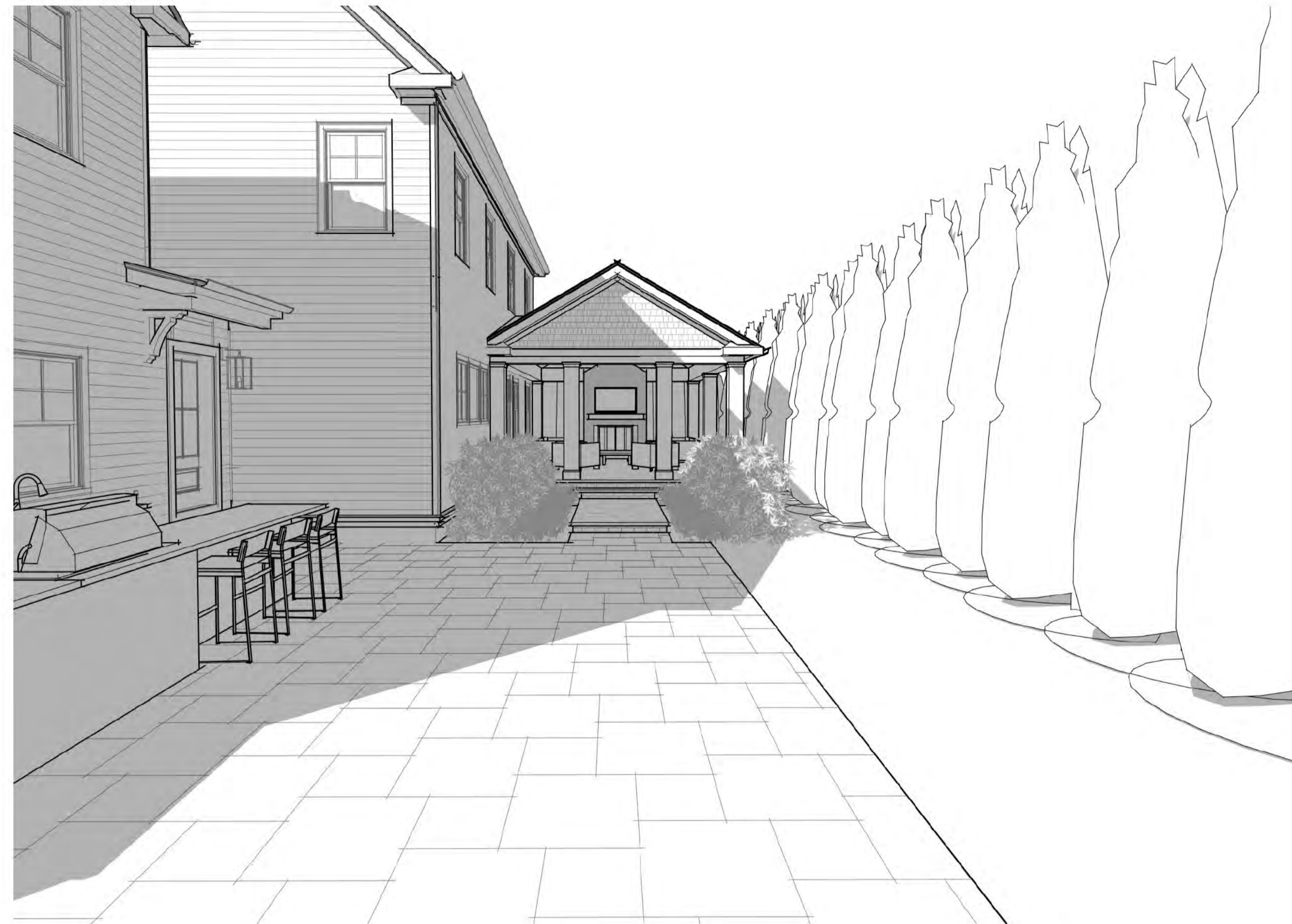
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A-302

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3D View 2



3D View 4



3D View 3



3D View 5

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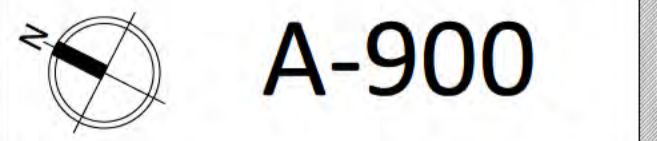
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Perspectives

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Scale